



**RESIDENTIAL CONSTRUCTION IN  
THE VILLAGE OF SUGAR MOUNTAIN:**

**THINGS YOU NEED TO SUBMIT WITH APPLICATION**  
PLEASE ALLOW THIRTY (30) DAYS FOR SUBMISSION PROCESS

**1) IDENTIFY YOUR ZONING DISTRICT**

	<b>R-1</b>	<b>R-2</b>	<b>R-3</b>	<b>R-4</b>
	<b>SINGLE (Low)</b>	<b>SINGLE (Medium)</b>	<b>MULTI-FAMILY</b>	<b>RESIDENTIAL ESTATE</b>
A) Minimum Lot.....	1 acre	.4 acre	1 acre	3 acres
B) Density .....	1 acre	2.5 acres	4 acres	.33 acre
C) Setbacks:				
Front.....	30 ft.	30 ft.	30 ft.	60 ft.
Rear.....	25 ft.	25 ft.	25 ft.	60 ft.
Side.....	20 ft.	15 ft.	20 ft.	50 ft.
D) Maximum Height .....	35 ft.	35 ft.	35 ft.	35 ft.
E) All homes must be a total of 1400 square feet of living space with 1000 square feet being on the primary level.				

**2) REQUIRED MATERIALS:**

- A) Completed Zoning Compliance Permit for Building (Must have site map and building plans to accompany permit)
- B) Building Plans (Square footage must be listed separately as heated space and unfinished space)
- C) Accurate site plan "Survey" including:
  - 1) Property lines and corners
  - 2) Building set-back lines and required yard areas
  - 3) Existing buildings or structures
  - 4) Utility easements, rights-of-way, culverts, and drainage ways
  - 5) Location of all utility lines or other utility facilities
  - 6) Shape, size, use and location of proposed buildings and structures to be constructed, erected or altered
  - 7) Location of any land clearing, or tree removal (must maintain 20% tree canopy on lot)
  - 8) Listing of building materials and paint colors
  - 9) Any other information that may be required by Zoning Administrator
- D) The Zoning Administrator will conduct a site visit. The following will be needed prior to visit:
  - 1) All property corners clearly marked
  - 2) The location of the proposed structure clearly marked
  - 3) All trees being removed that are not in areas designated for structures, driveways, or those necessary for installing utilities.

**5) ARCHITECTURAL DESIGN STANDARDS (Attached)** – Review design standards and sign last page and return with Zoning Compliance for Building application, Land Clearing Permit.

**6) CONSTRUCTION BOND (Attached)** - Once the zoning compliance permit for building is approved and before construction can begin, a cash construction bond made payable to the Village in the amount equal to \$1.00 times the square footage of the building or structure including porches, decks and decking is needed.

**NOTE: A CERTIFICATE OF ZONING COMPLIANCE MUST BE SIGNED BEFORE FINAL INSPECTIONS CAN OCCURE WITH AVERY COUNTY.**

**If you have any questions, please contact the Village Manager or  
Assistant Zoning Administrator at 828-898-9292**



VILLAGE OF SUGAR MOUNTAIN

251 Dick Trundy Lane ~ Sugar Mountain ~ North Carolina ~ 28607 ~ Tel: 828-898-9292

PERMIT # LCP- \_\_\_\_\_

**ZONING COMPLIANCE PERMIT FOR LAND CLEARING - \$35.00**  
**(100% CLEARING IS PROHIBITED - MUST MAINTAIN A 20% TREE CANOPY)**

A PRELIMINARY SKETCH OF TREE REMOVAL PLAN IS REQUIRED

Name of Contractor: \_\_\_\_\_

Address: \_\_\_\_\_

Telephone: \_\_\_\_\_ Contact Person: \_\_\_\_\_

Name of Owner: \_\_\_\_\_

Address: \_\_\_\_\_

Telephone: \_\_\_\_\_

LOCATION OF SITE: Lot # \_\_\_\_\_ Physical Address: \_\_\_\_\_

USE OF LAND:  Residence  Business (Type: \_\_\_\_\_)

**Submittal of a tree removal plan is required.** All lots within the Village limits and extra territorial jurisdiction must maintain a 20% tree canopy. Clearing must begin within six (6) months after the date of issuance of this permit or the permit becomes null and void. The Village of Sugar Mountain must be notified of any oversized vehicles traveling upon Village roads. Permittee and/or property owner shall be responsible for the removal of mud and debris as well as all damages to Village roads. **A 15"-18" culvert must be provided for driveways.**

\_\_\_\_\_  
Signature of Applicants

\_\_\_\_\_  
Date

**\* Zoning Administrator Use Only \***

Zoning District: \_\_\_\_\_

Front Setback: \_\_\_\_\_ feet

Parcel No.: \_\_\_\_\_

Side Setback: \_\_\_\_\_ feet

Preliminary Sketch of Plans Provided?  Yes  No

Rear Setback: \_\_\_\_\_ feet

Zoning Administrators Ruling: \_\_\_\_\_

Fee Paid \$ \_\_\_\_\_

Date \_\_\_\_\_

Check No. \_\_\_\_\_

\_\_\_\_\_  
Signature of Zoning Administrator

\_\_\_\_\_  
Date



**ZONING COMPLIANCE PERMIT FOR BUILDING**

**A PRELIMINARY SKETCH OF PLANS IS REQUIRED**

Name of Contractor: \_\_\_\_\_

Address: \_\_\_\_\_

Telephone: \_\_\_\_\_ Contact Person: \_\_\_\_\_

Name of Owner: \_\_\_\_\_

Address: \_\_\_\_\_

Telephone: \_\_\_\_\_

USE OF BUILDING:  Residence  Business (Type: \_\_\_\_\_)

New  Remodeled  Additions

LOCATION OF SITE: Lot # \_\_\_\_\_ Physical Address: \_\_\_\_\_

Estimated Cost of Building \$ \_\_\_\_\_ Total Sq. Ft. \_\_\_\_\_ Height of Structure \_\_\_\_\_  
 \_\_\_\_\_ Sq. Ft Primary Level \_\_\_\_\_ Heated Sq. Ft \_\_\_\_\_ Unfinished Sq Ft.  
 (\$0.15 per sq foot) (\$0.10 per sq foot)

This structure is to be erected or altered in accordance with the Ordinances of the Village of Sugar Mountain, NC and the North Carolina Building Code. Construction must be started within six (6) months after the date of issuance of this permit or the permit becomes null and void. The Village of Sugar Mountain must be notified of any oversized vehicles traveling upon Village roads. Permittee and/or property owner shall be held responsible for the removal of mud and debris as well as damages to Village roads.

\_\_\_\_\_  
 Signature of Applicant

\_\_\_\_\_  
 Date

**\* Zoning Administrator Use Only \***

Zoning District: \_\_\_\_\_ Front Setback: \_\_\_\_\_ feet

Parcel No.: \_\_\_\_\_ Side Setback: \_\_\_\_\_ feet

Preliminary Sketch of Plans Provided?  Yes  No Rear Setback: \_\_\_\_\_ feet

Zoning Administrators Ruling: \_\_\_\_\_

Fee Paid \$ \_\_\_\_\_ Date \_\_\_\_\_ Check No. \_\_\_\_\_

\_\_\_\_\_  
*Signature of Zoning Administrator*

\_\_\_\_\_  
*Date*



**CONSTRUCTION BOND**

Name of Contractor: \_\_\_\_\_

Address: \_\_\_\_\_

Telephone: \_\_\_\_\_ Contact Person: \_\_\_\_\_

Name of Owner: \_\_\_\_\_

Address: \_\_\_\_\_

Telephone: \_\_\_\_\_ Anticipated Completion Date: \_\_\_\_\_

LOCATION OF SITE: Lot # \_\_\_\_\_ Physical Address: \_\_\_\_\_

**ZONING ORDINANCE SECTION 1103.1 AND 1103.5**

**1103.1** A cash compliance bond made payable to the Village in the amount equal to \$1.00 times the square footage of the building or structure including porches, decks and decking.

**1103.5** If no substantial construction progress has been made within six (6) months of the date of issuance of the certificate of zoning compliance, or if the work authorized is suspended for a period of (12) months or if the exterior construction or work is not completed within twenty-four (24) months of issuance of the Certificate of Zoning Compliance for Building, the Certificate for Zoning Compliance for Building becomes invalid and terminated and the cash compliance bond is forfeited to the Village.

\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Date

Construction Bond Received \$ \_\_\_\_\_ Date \_\_\_\_\_ Check # \_\_\_\_\_

Bond Received By: \_\_\_\_\_

**Reserve for Office Use Only - Outside of home including landscaping and driveway must be completed within twenty-four months for Refund.**

Date Bond Refunded: \_\_\_\_\_

Village Authorized Signature: \_\_\_\_\_

## **SECTION 910**

## **ARCHITECTURAL DESIGN STANDARDS**

It is the intent of this section to establish the architectural review standards to replace the previously adopted Village of Sugar Mountain Material and Color Requirements (7-11-1995). These standards shall apply to all new construction, expansions and/or additions of 50% of the gross floor area of existing buildings, or changes to exterior building facades for multifamily and nonresidential development. Single –family detached residential uses, individual duplexes, and townhouses are exempt from building design elements when built to the single-family code. G.S. 160A-381.

### **SECTION 910.1 SITE ASPECTS**

1. Relationship of a building to its site.
  - a) Building design shall be fitted to the natural contours of the site. Natural features of the site, such as rock outcroppings or natural drainage ways shall be preserved.
  - b) On wooded sites, buildings shall be carefully situated to take advantage of the shade and energy conservation provided by the trees.
  - c) The impression of buildings tucked into, rather than superimposed on, the natural landscape shall be created.
  - d) The view of the building from the street and surrounding areas shall be as important as the view available to the buildings occupants.
  - e) Buildings shall be located according to the natural characteristics of the site. In hilly terrain, clustering of buildings is encouraged as a strategy to avoid destroying sensitive natural areas.
  - f) Buildings shall be designed to harmonize with the existing topography, thereby minimizing land disruption.
  - g) Grading shall be held to a minimum and should complement natural landforms (such as smooth gradations or terracing).
  - h) Use of retaining walls that retain more than five (5') in height of earth within a linear fifty (50') distance is required to be designed by a North Carolina registered engineer.
2. Relationships of the project to adjoining area.
  - a) Building projects shall not be designed as isolated units, but instead shall reflect the context of the adjoining properties.
  - b) Grading shall blend gently with contours of adjacent properties.
  - c) Buildings at the ends of streets, or at street corners, shall serve as visual “terminals.” Serving to both unify and conclude the architectural statement made on the street.
  - d) Proposed recreation areas or uses shall complement nearby existing uses. The extension of existing parks or recreation areas into a proposed development is a highly desirable design feature.
  - e) Buildings or projects located near or adjacent to a greenway shall provide safe and efficient pedestrian connection to that greenway, and also to adjacent properties that might include pedestrian systems in the future.
  - f) Buffer zones shall separate and protect the greenway, while at the same time connect it to the building site.
  - g) Natural drainage patterns shall be preserved where possible. Changing the natural drainage areas will affect the drainage onto adjoining areas.
  - h) Innovative building and site design can capitalize on natural drainage ways and transform steep slopes into major site amenities.
  - i) Design shall insure that drainage occurs only in areas designed to serve a drainage function. Storm water should not flow over sidewalks, paths or streets.
3. Streetscape
  - a) Scale is a major factor in creating a sense of community and a sense of place.
  - b) The ratio between the width of the street corridor (as measured between opposing building facades) and the height of the “walls” of that corridor (the foundation-to-eaves dimension) plays an important role in creating a human scale in the streetscape. If the width exceeds the height more than four (4) times the sense of enclosure is diminished.
  - c) The Village shall be focused on people rather than on vehicles. Streets shall be connections not separations.

- d) Reference Illustration “A”, for explanation of zones and transition areas that shall be addressed in the design of new streets.

#### 4. Streets

- a) Difficult topography shall be avoided when locating and designing roads. For instance, roads are best placed along the contours of a site if the site is hilly or steep. This minimizes fuel consumption and noise in automobiles and provides a more comfortable access for pedestrians and bicycle riders. Consideration shall also be given to fire protection and emergency vehicles in order to facilitate access to any structure in case of any emergency.
- b) Roadways shall focus attention on interesting views and should not interfere with natural drainage patterns.
- c) The site plan should incorporate a hierarchy of roadways and walkways that provide for safe, smooth and pleasant movement of people and vehicles. Special attention shall be paid to points and which pedestrian, bicycle, and automobile movements are in conflict. Clearly marked crosswalks or routing of pedestrian paths away from main automobile traffic areas can reduce hazards in these areas.
- d) Whenever there is a design choice between access from the development to a street of a higher classification and access to a street or a lower classification, access should be to the street of lower classification.
- e) On large streets, landscaped median islands are encouraged and crosswalks shall be included.
- f) Trees, shrubs and other plants shall be planted along the streets in accordance to the setbacks established.

#### 5. Sidewalks

- a) Building sites shall accommodate pedestrians and shall be centered around pedestrian traffic rather than vehicular traffic.
- b) Access must be safe and convenient within a site. Sidewalks must be clearly separated from driving areas and must connect buildings to each other, to parking areas and to adjacent pedestrian paths.
- c) Handicapped accessibility along walkways at street/driveway intersections shall be provided whenever possible, per NC State Building Code specifications.
- d) Sidewalk construction standards (including curb and gutter) shall follow the NC Department of Transportation Subdivision Roads Minimum Construction Standards.
- e) Walkways or sidewalks shall be provided along all public streets for commercial developments. Where intersections occur, pedestrian walkways shall be clearly marked with paint or contrasting surface material.
- f) The separation of sidewalks from the roadway for pedestrians’ safety will be achieved by:
  - 1. Curbside planting strips
  - 2. Depressing or raising the walkway in relation to street level
  - 3. Providing parking adjacent to the walkway (on-street parking) as an additional barrier
- g) Especially around areas with interesting natural contours.
- h) Major commercial developments shall include a system for internal pedestrian movement. These internal walkways shall also be linked with the Village walkways, particularly to greenways and park.

#### 6. Bicycles

- a) Bike lanes or sufficient room on the streets for bicyclists are very desirable. However, bike lanes do not have to parallel the street. Like sidewalks or walkways they should follow natural patterns.
- b) Businesses and organizations should recognize the needs of cyclists who may bicycle to work. These cyclists need convenient use of a bicycle rack.

### **SECTION 910.2 BUILDING DESIGN**

The following elements of building design shall be incorporated in new construction and renovations as noted in section 910.

#### 1. Scale

Scale and proportion should reflect local traditions of mountain buildings. They should be oriented to the characteristic, simple residential buildings of the Village of Sugar Mountain. Texture of roof and wall finishes shall provide a scale or reference point for the pedestrian in proximity to the structure. In the

R-3, C-B, M-U, and R-C districts, where structures already exist on a subject property. The maximum wall height of any new structure connected to existing structures shall not exceed the highest wall of the existing structure.

a) Allowed:

- 35 feet height maximum from average natural slope to roof; existing contours shall be provided on the plat or site plans as part of the zoning permit application. Take the largest rectangle inside the footprint and find the midpoint of each wall. The spot where each of these lines intersect is the point where the measurement will be taken for the height of the building. (see illustration “B” on how to calculate the height of a building.)
- Harmony with landscape and surroundings
- Residential scale
- Structures using rectangular configurations
- Street front having sense of entry
- Use of stepbacks and architectural elements (windows, stairs, etc) to break up large masses of buildings.
- Pedestrian-oriented scale to Village of Sugar Mountain Landscaping and
- Planned Residential and Commercial Developments in the R-3 and M-U with connections to existing tall buildings (over 35 feet) allow for the principal building to be 60% of the footprint and any additional interconnected buildings cannot exceed the footprint by 40%, making the total footprint 100%.

b) Prohibited:

- Square or rectangular buildings in excess of 50,000 square foot of gross floor area, when constructed on an individual lot(s) and not a part of a Planned Commercial or Planned Residential Development containing less than three buildings in the R-3, C-B, M-U, or R-C zoning district.
- Continuous flat facades
- Round buildings

2. Exterior Materials

Exterior materials shall be selected for suitability to architectural style. For the mountain character of the Village of Sugar Mountain, this means using natural traditional materials such as wood and native stone. All sides of building should relate to each other. The front should not look substantially different from the other sides. The number of different materials on exterior finished should be limited.

a) Allowed:

- Use of materials native to mountain area
- Wood siding (painted, stained, or weathered)
- Wood shingles/shakes
- Native stone
- True log construction
- Log siding
- Exposed wood structural members
- Related trims
- Where materials change there should be a change in wall plane or some architectural device to give a sense of transition
- Cultured stone (faux stone)
- Bark siding

- Brick (allowed as accents for areas of detail – then the brick shall be of constant color and of the wood mold type, no blends)
- Stucco, for two (2) feet above grade only, or allowed as an accent for areas of detail
- All SSTM approved cement board, at the discretion of the Zoning Administrator or per requirement of the NC State Fire Code
- ASTM approved Commercial Grade Vinyl Siding in the C-B Zoning District only. (Siding must be a minimum of .044” grade and must be installed by someone who is certified by VSI or by a similar institution, manufacturer or supplier.)

b) Prohibited:

- Stucco, as an entire wall exterior finish
- Mix of materials unrelated to architectural form/structure
- Pre-form metal siding
- Exposed or painted concrete block
- Vinyl siding
- Artificial brick
- Reconstituted or manufactured wood materials
- Synthetic stucco
- T1-11 siding (plywood)
- Split face block
- Non-ASTM approved cement board

3. Roofs

Roofs are a major visible element and shall be compatible with both buildings and neighboring buildings architectural style. Similarities in roof type create a visual continuity in the streetscape and neighborhood. Roof shape, color and texture should be coordinated with the treatment of the buildings perimeter walls. Roofs with more than one place, and containing dormers, add variety to a building and break-up its size.

a) Allowed:

- Any pitched roof must be 6/12 to 12/12 slope
- Large overhangs (minimum one (1) foot)
- Fascia eight (8) inches minimum and/or exposed rafter tails
- Gable or hip roofs
- Large roof areas should have more than one place and be broken up with dormers
- Roof pitches over porches and ancillary structures should be in keeping with principal building (minimum 3/12)
- Flat roofs with parapet only in zoning districts R-3, C-B, M-U, and R-C Rooftop equipment specifications:
  - Screen rooftop mechanical, electrical, and energy equipment from view of people on street
  - Energy collection equipment on street side is allowed when mounted on roofs with pitch, of similar color, and are mounted flush with the roof.
  - Grouping together of utility structures (vents, ducts, ...) and painted to match adjacent building surface
  - Exposed gutters and downspouts painted to match adjacent roof or wall material
  - Earth tone colors for roof materials
  - Traditional roof materials
  - Wood shakes/slate/metal roofs/fiberglass shingles/concrete tiles
  - Same materials on all principal parts of the roof
  - Asphalt composition shingles (artificial slate)



b) Prohibited:

- Flat roofs, with exception noted above
- Shed, gambrel, mansard roofs
- Low slopes (under 6/12 for main roof)
- Very steep slopes (over 12/12)
- Overhangs less than one (1) foot
- Brightly colored and unnatural looking roof material
- Roll felt roofing
- Corrugated plastic sheet material

4. Windows

Windows are the most important architectural element to unify a facade. They reflect the character of a building. However, windows not only add to the aesthetics of a building but also have to provide light and ventilation.

a) Allowed:

- Traditional shapes (forms of square, arches or rectangle)
- Forms of residential scale
- Multi-pane windows (use of muntins to divide glass into unified sections)
- Vertical windows
- Separate large windows (also for storefront windows)
- Separate large windows (including storefront) by columns

b) Prohibited:

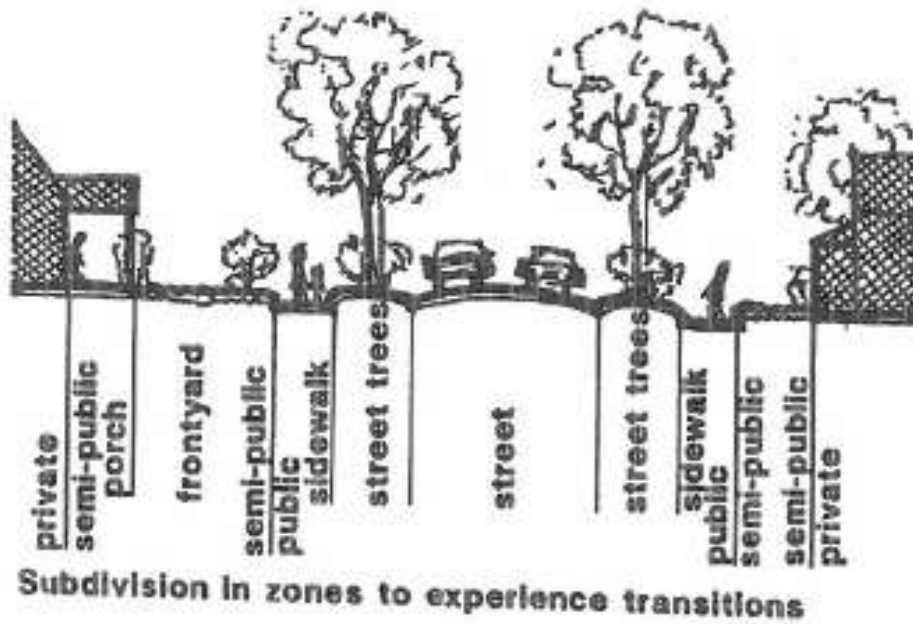
- Horizontal windows
- Large undivided panes of glass
- Windows of dominant elements; a higher percentage of wall than window should exist on the facade. [Exception shall be made to retail establishments in the C-B districts which rely on pedestrian traffic].
- Floor to ceiling windows greater than one story
- Large horizontal strips of windows (ratio greater than 2:1) visible from the street
- Glass block visible from street
- Aluminum store front systems
- Reflective glass
- Plastic glazing materials
- Outside jalousies and jalousies windows visible from street

5. Color

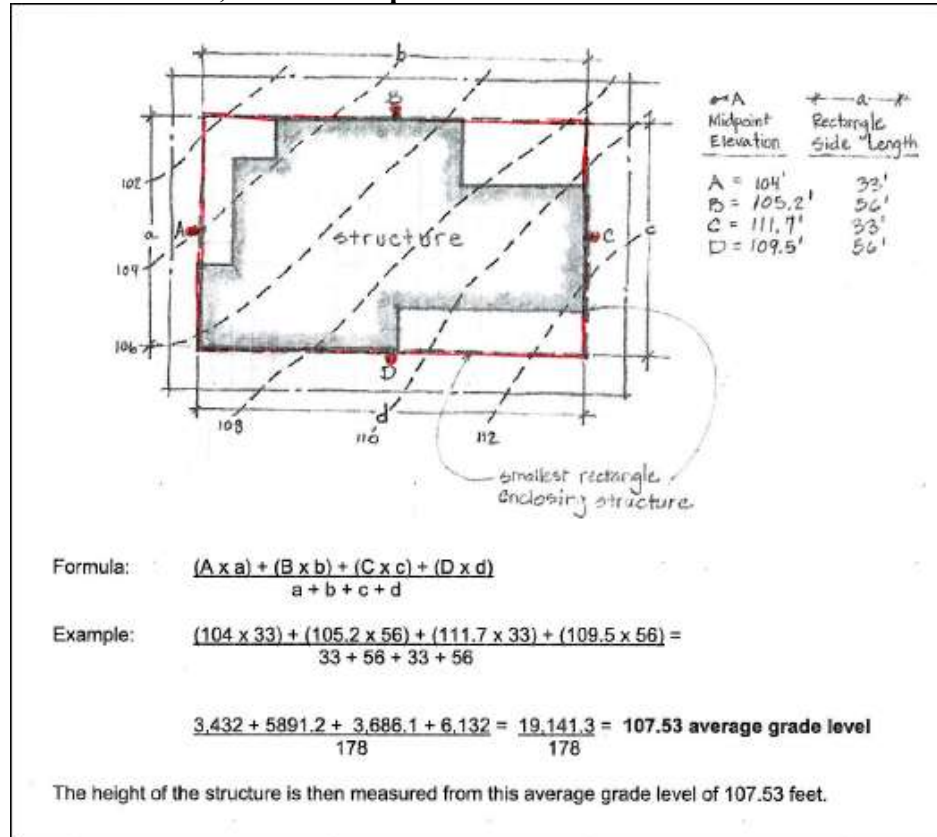
Colors shall be natural and subdued (earth tones are recommended) and shall blend in well with the natural surroundings. Natural stains or paints that reflect the colors of natural materials should be dominant on large areas such as building facades and elevations. Openings and entryways should be clearly expressed with changes of texture or color. Trim color shall refer to any or all building's trim elements (such as eaves, soffits, overhangs, fasciae, windows, sills, gutters). Principal building and trim colors are subject to review, also for repainting and existing building. If the color for repainting matches the existing, then no permit will be required.

a) Prohibited:

- High gloss finishes
- Day-glow and fluorescent colors (except for as permitted above)
- Bright colors, including pastels that do not harmonize with natural materials and earth tone stains



**Illustration "A", Zones to Experience Transitions**



**Illustration "B" on How to calculate the height of a building.**

Read, Considered, Passed and Approved at a regular meeting of the Village Council of Sugar Mountain, North Carolina, at which a quorum was present and which was held on the 18<sup>th</sup> Day of December, 2018.

## VILLAGE OF SUGAR MOUNTAIN BUILDERS RULES AND REGULATIONS

All independent contractors doing business in the Village of Sugar Mountain shall comply with all of the following rules and regulations. It is the responsibility of the property owner to inform the independent contractor of these rules.

1. **Working Hours:** Independent contractors will be allowed to perform work Monday through Saturday, beginning at 7:00 AM, ceasing at 8:00 PM and off the property by 8:30 PM.

**There will be no work performed or any type of deliveries made on Sundays or the following Holidays:**

New Year's Day, Martin Luther King's Birthday, Easter Monday, Memorial Day, Independence Day, Labor Day, Veteran's Day, Thanksgiving Day and the following Friday, and Christmas Day.

2. **Radios:** Radios may be used; However, they must be played so not to disturb adjoining property owners.
3. **Portable Restrooms:** Portable restrooms are required on each site.
4. **Speeding:** The speed limit within the Village is 15 MPH unless otherwise posted. Violators will be ticketed.
5. **Parking:** New construction sites will be allowed a 60-foot entranceway. All construction vehicles and equipment will be parked within the construction site, not along the side of the roadway. Any damage to the road or road shoulder will be repaired by the Village and billed to the property owner.
6. **Worker Attire:** All construction workers will keep their shirts on while working within Sugar Mountain.
7. **Pets:** Pets of contractors, sub-contractors and tradesmen are not allowed within the Village.
8. **Burning:** Burning Permits must be obtained at the Village Hall located at 251 Dick Trundy Lane.
9. **Signs:** All signs will meet the Village's Ordinances.
10. **Job Site:** The contractor is required to keep the job site in a clean and orderly condition at all times.
11. **Roads:** The Village of Sugar Mountain must be notified of any oversized vehicles traveling upon Village roads. Permittee and/or property owner shall be held responsible for the removal of mud and debris as well as damages to Village roads.

# The Village of Sugar Mountain Architectural Design Standards and Builders Rules and Regulations

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I, \_\_\_\_\_ have read and fully understand the Village of Sugar Mountain's Architectural Review Guidelines and Builders Rules and Regulations presented to me on \_\_\_\_\_. I agree to abide by these guidelines while within the Village of Sugar Mountain city limits.

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Village Manager/Village Clerk or Designee